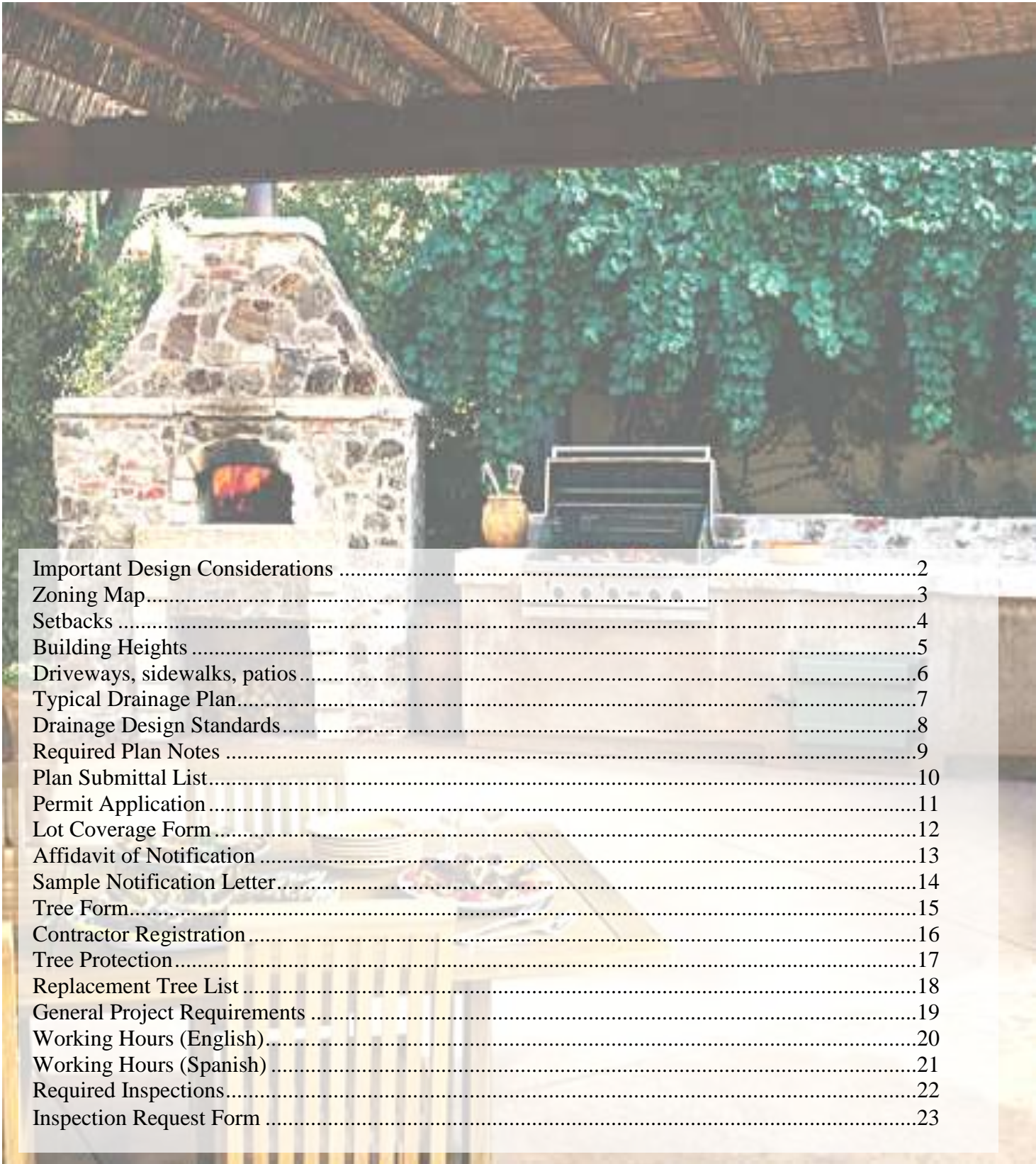




ACCESSORY STRUCTURES



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Accessory Structures

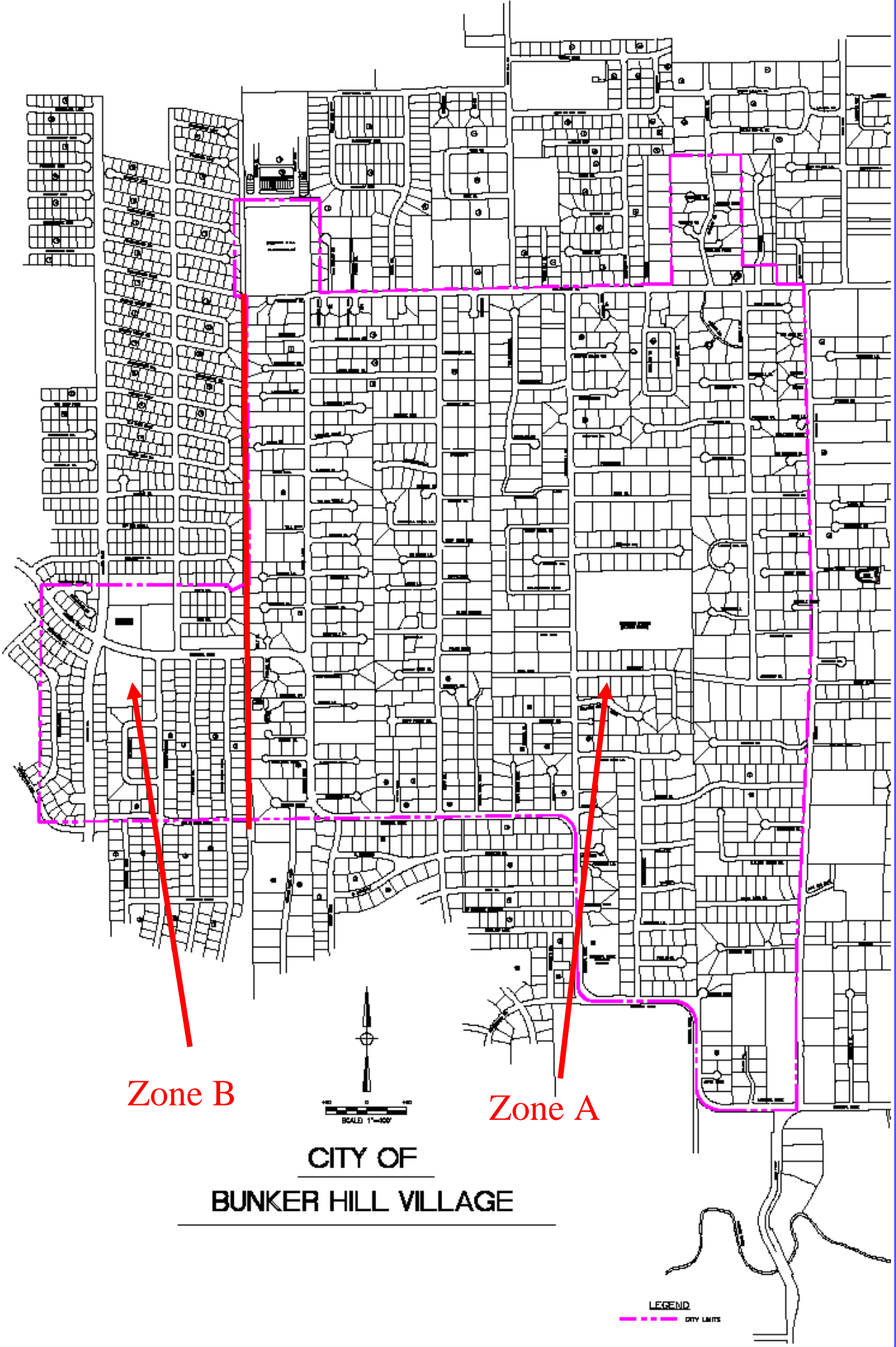
Important Design Considerations

What is an Accessory Structure?

“Accessory building and accessory use. A building or use which is clearly subordinate and customarily incidental to and serves the principal or main building or use; is subordinate in area, extent, and purpose to the principal or main building or use served; contributes to the comfort, convenience or necessity of the occupant of the principal or main building or use; and is located on the same lot as the principal or main building or use. Notwithstanding the foregoing or any other provision contained in this appendix "A" to the contrary, no building, or any part thereof, constructed, altered, improved or used for the purpose of human habitation shall be deemed an accessory building hereunder. For the purposes hereof, a building or part thereof shall be deemed habitable if it is constructed, altered or improved so as to be suitable for, or used for, sleeping or any other living purposes. Provided further, any building, or part thereof, equipped with heating, air conditioning, or any other form of climate control shall be deemed suitable for habitation. (Ord. No. 01-256, § 1, 2-20-01)” - Bunker Hill Village City Ordinance

Typical Accessory Structures:

- **Garage**
 - **Outdoor Kitchen**
 - **Free Standing Pavilion**
 - **Storage Building**
 - **Pergola**
 - **Any vertical structure which is not a fence, wall or main building**
-
- Accessory structures have different setbacks – see the enclosed zone map and setback drawings.
 - An accessory structure may be attached to the main house by a breezeway **NO MORE THAN 6 FEET IN WIDTH**. If the breezeway is wider than 6 feet, the accessory structure is considered to be part of the main structure and must meet main structure setbacks. Accessory structures must also be at least 6 feet from a main structure.
 - Underground drainage is required in the area of the proposed accessory structure.
 - Maximum non-permeable lot coverage is 45.0%
 - City of Bunker Hill Village Building Code: International Residential Code 2003 and National Electric Code 2005.
 - **Please submit one complete set of 11” X 17” drawings for review.** You should receive a response for your project in 10 business days or less. Projects which do not include all of the required items on the enclosed Required Documentation List will be charged a \$100 resubmission fee.



Zone B

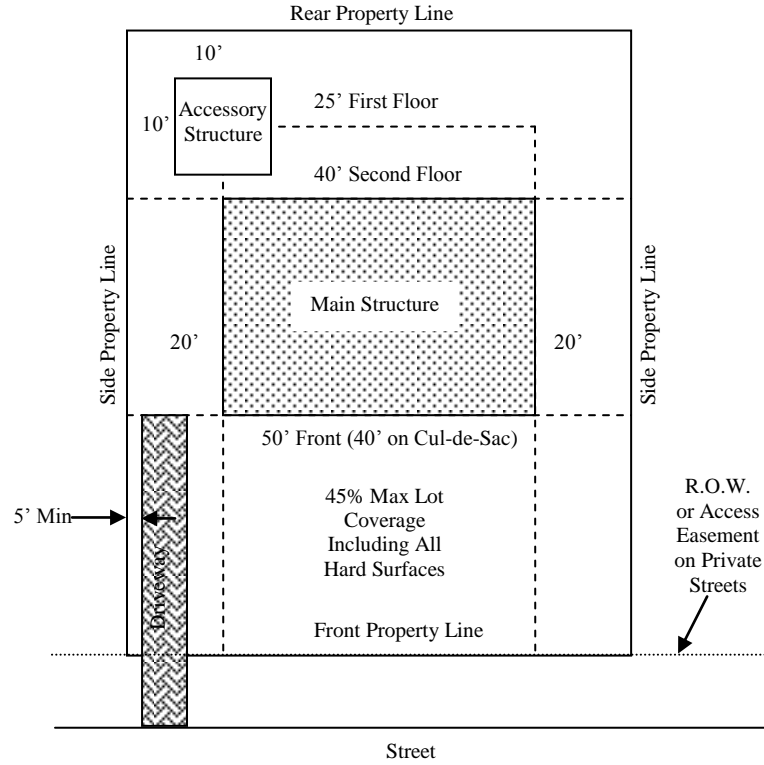
Zone A

CITY OF
BUNKER HILL VILLAGE

LEGEND
--- CITY LIMITS

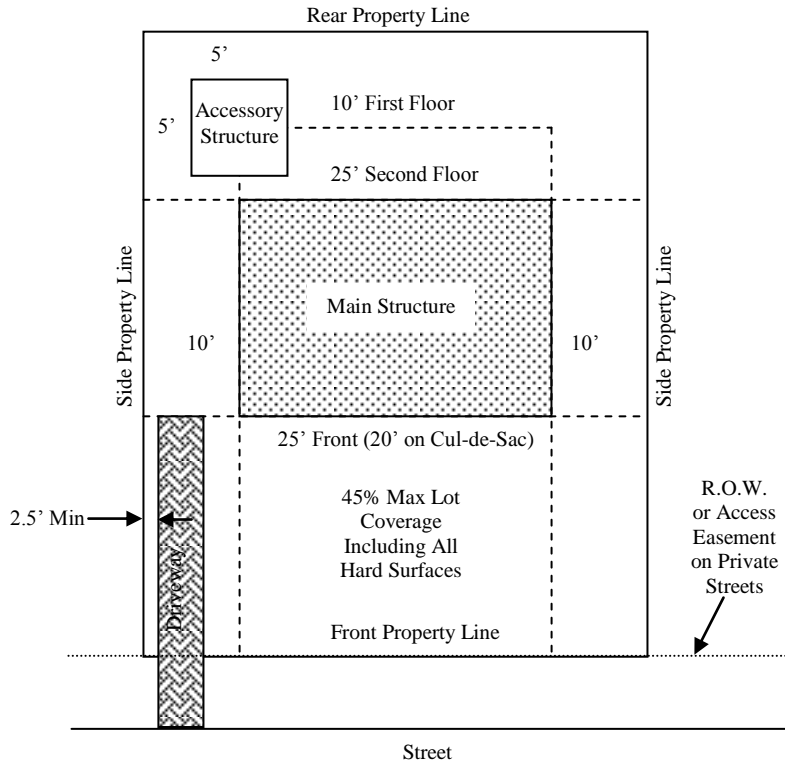


**Standard Lot
Zone A**



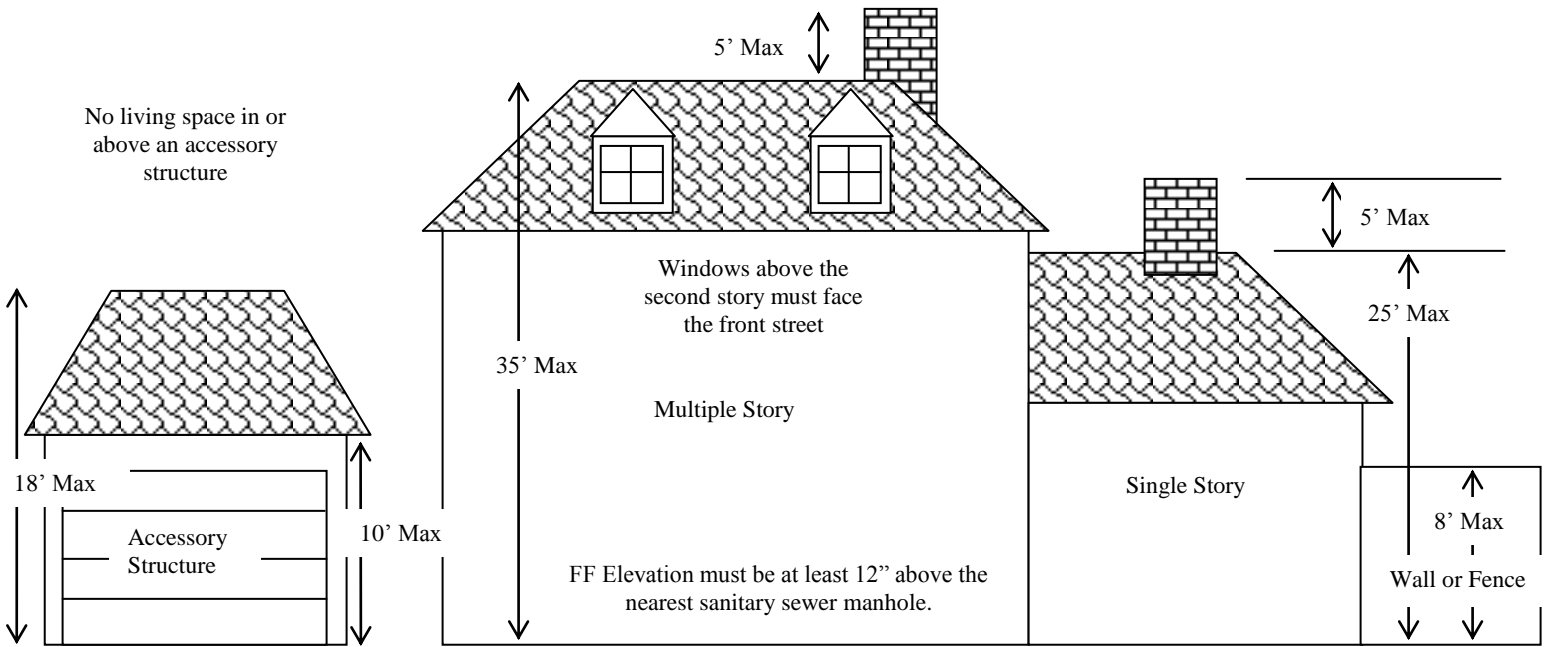
A Cud-de-Sac lot is defined as a lot which the ENTIRE front lot line is on the arc of the cul-de-sac.

**Setback Requirements
Standard Lot
Zone B**



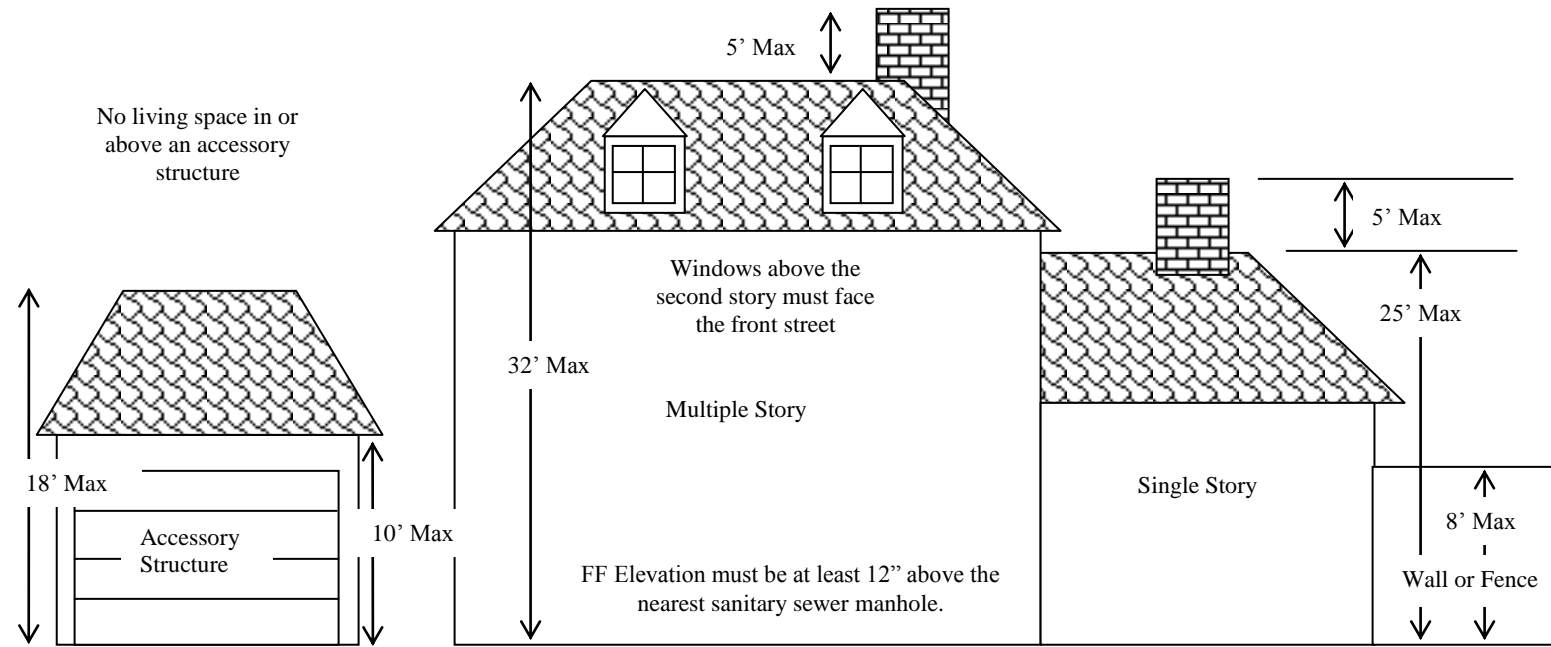


Height Limitations



Zone A

Fence or wall cannot be in front of the façade of main structure.

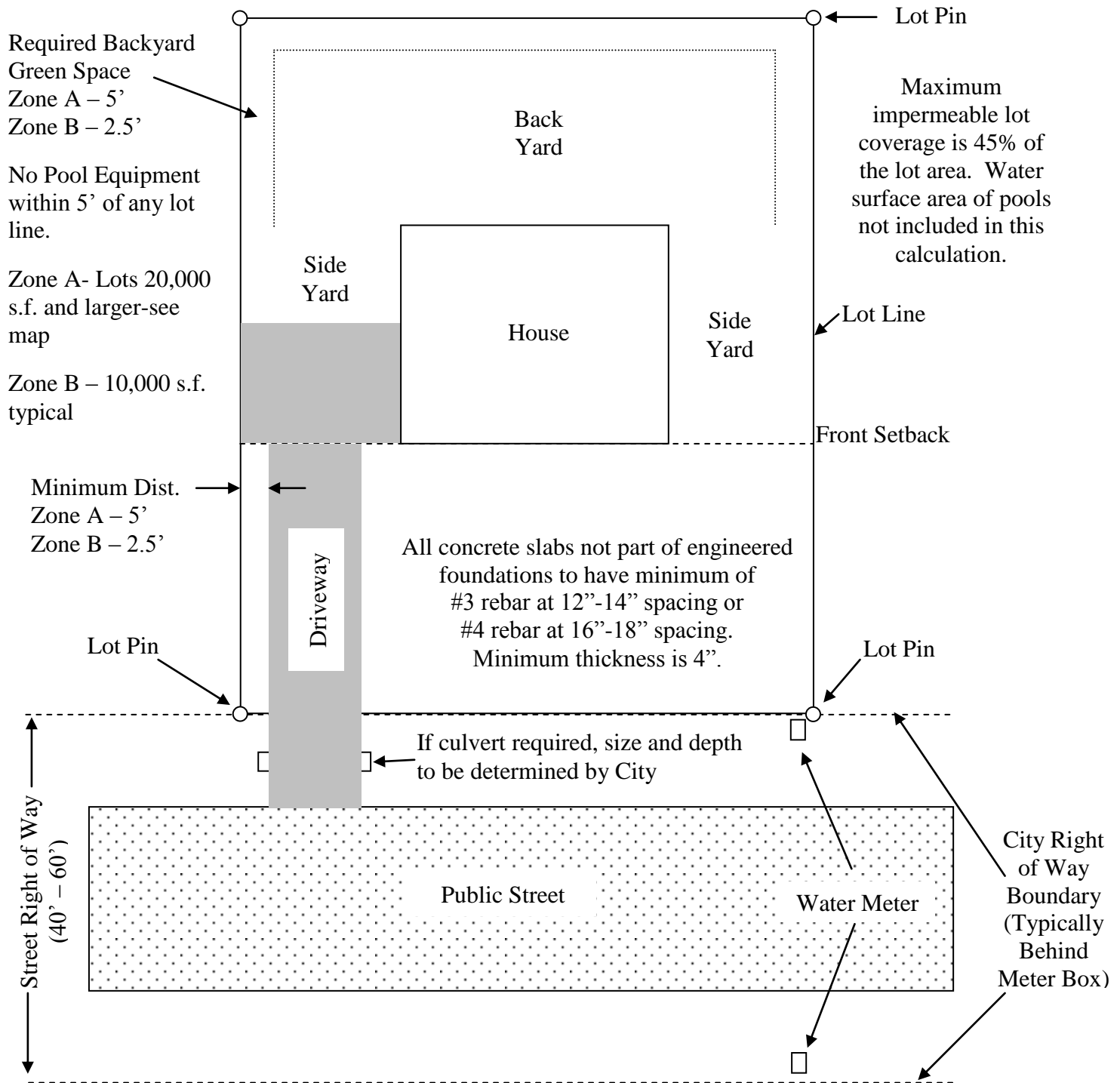


Zone B

Fence or wall cannot be in front of the façade of main structure.



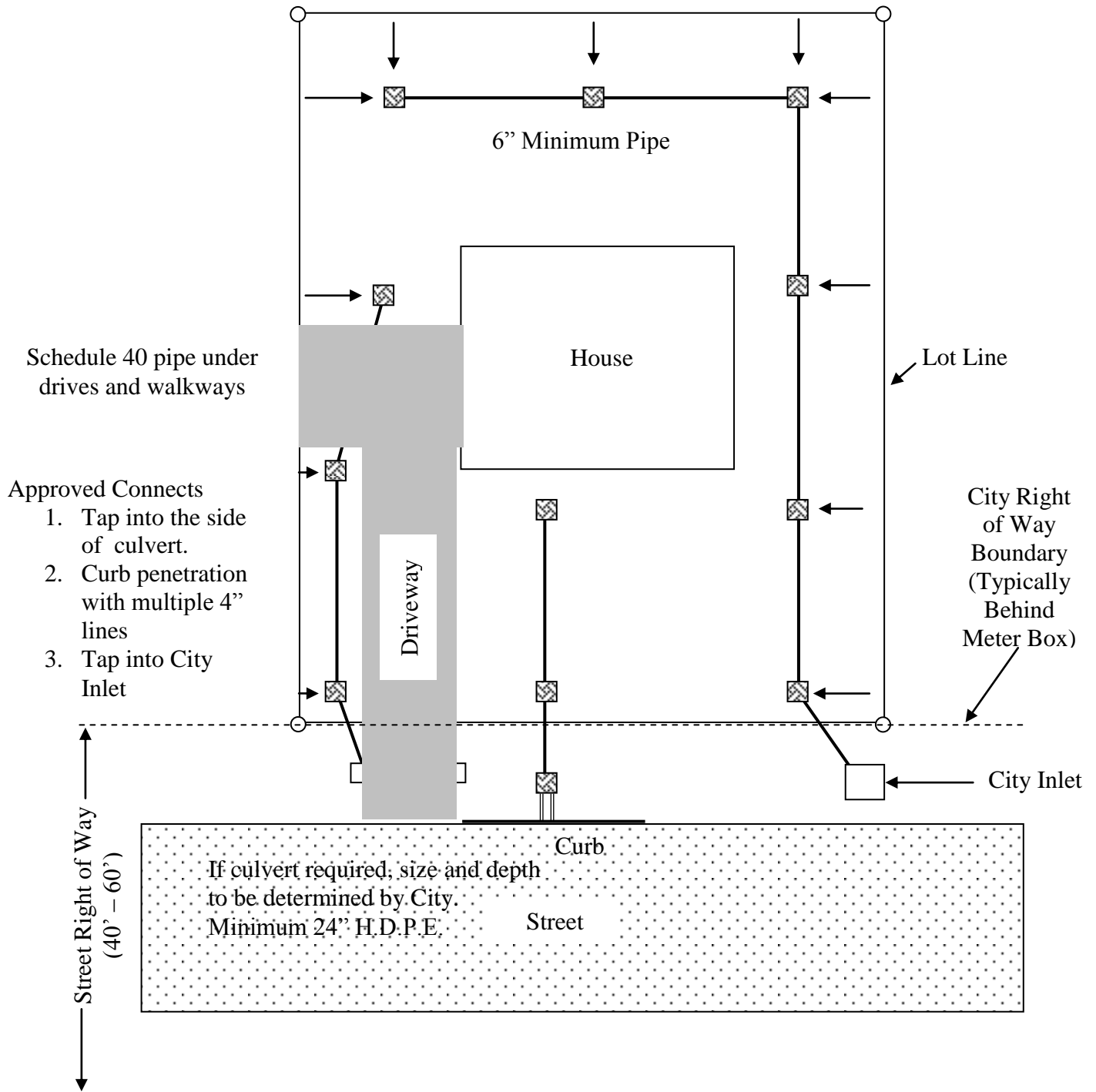
Driveway, Sidewalk, Pool Decking and Patio Requirements



Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.



Typical Drainage Plan



Minimum pipe size is 6", however all lines must be designed to 5 year rain event standards. Pumps for sump systems must have a total capacity of a 5 year rain event for the drainage area served. All submissions must be signed by a licensed irrigator, engineer, or architect.



Drainage System Design Standards

1. New construction requires an underground drainage system to drain the entire lot area. **NO SHEET FLOW TO THE CITY DRAINAGE FACILITIES.**
2. Lots should be generally graded so that flow is from back to front. Exceptions should be requested in writing with details as to why this plan cannot be followed. Lots should also be graded so that water does not flow between properties. (Even if it is currently configured with cross lot drainage)
3. Minimum pipe size is 6". Four inch lateral lines are allowed IF they are directly connected to only one four inch gutter down spout.
4. Gutter connections are allowed but not required.
5. System should be designed to accommodate a 5 year frequency storm.
6. Systems should be designed to connect to a city underground storm water system if one is available to the site.

In the absence of a city storm water system, the following should be considered as alternative connection methods:

 - a) On streets with curbs, multiple 4" outlet pipes of a sufficient number to accommodate the upstream pipe capacity will be allowed to protrude through the curb. An inlet or serviceable junction box should be used as the transition point between the multiple 4" lines and the upstream pipe to allow removal of debris at the transition point. The transition point should be between 1' and 5' behind the curb.
 - b) On streets served by a ditch, all connection points should be into the side of a H.D.P.E. culvert of not less than 24" in diameter. Actual culvert size to be determined by the city.
 - c) All culverts to be H.D.P.E. installed in accordance with manufacturer's recommendations. Flowline to be determined by the City of Bunker Hill Village. Minimum size is 24" but larger sizes may be required by the City. Please provide the size of culvert pipes on properties adjacent to the project site.
7. No French drain systems.
8. Bubbler boxes will be considered on a case by case basis. Bubbler boxes should be designed with a minimum of 12" encasement of medium size aggregate. Bubbler boxes will not be approved for clay or soils which do not allow the migration of the storm water.
9. Sump systems should be designed to the design standards listed above. Pump sizing calculations should be included.
10. System should be constructed so that there is no standing water in pipes or inlets.
11. P.V.C. pipe must be a minimum of SDR 35. Schedule 40 required for sections under driveways.



Required Plan Comments for Accessory Structure Construction

1. All construction shall comply with IRC (2003 IRC), and the 2005 (NEC).
2. Approved plans, permit and inspection tickets shall be available on jobsite for each inspection.
3. All driveways, patios, and sidewalks shall meet the minimum standards of the City.
4. Setbacks shall comply with zoning requirements.
5. A two-way sewer cleanout shall be installed within 30" of the house section P3005.2.
6. Form survey required prior to foundation inspection.
7. Safety glazing of doors and windows shall conform to the requirements of R308.4.
8. Attic access shall be provided in accordance with R807.
9. Brick and masonry veneer shall be supported as per section R703.7.2.
10. Stair treads and risers.

The maximum riser height shall be 7 ¾ inches and minimum tread depth shall be 10 inches. The riser height shall be measured vertically between leading edges of the adjacent treads. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch. A nosing not less than ¾ inch but not more than 1¼ inches shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch. A flight of stairs shall not have vertical rise greater than 12 feet between floor levels or landings. Section 311.5.3.

11. Approved drain pan required for water heaters installed above the first floor P2801.5.
12. Water heater drain pans shall drain to exterior of building.
13. Combustion air for gas-fired water heaters shall comply with G2407.
14. Bathrooms, water closet compartments and other similar rooms shall be provided with windows of not less than 3 square feet, one-half of which must be operable or a minimum 50 cfm fan exhausted directly to the outside R303.3.
15. Clothes dryer vents shall be installed in accordance with M1501.
16. Smoke detectors shall be installed in accordance with R313.
17. GFCI protection shall be provided in accordance with electrical code 210-8 (NEC).
18. GFCI bathroom receptacles must be installed within 36 inches of lavatory basin 210-52 (NEC).
19. Branch circuits which supply any outlet in dwelling unit bedrooms must be protected by arc-fault circuit interrupter(s) 210-12(NEC).



Accessory Structure Required Documentation

Building Submittal Package

- Permit Application
- Lot Coverage Calculations Form
- Affidavit of Notification to Property Owners within Subdivisions (see Sample Letter)
- Tree Removal Application
- Required Drawings and Documentation (2 complete sets)
 - Property Survey by a Registered Land Surveyor. (Standard file size please)
 - Site Plan showing all setback lines, proposed structures, water and sewer tap locations, lot coverage calculations, location and elevation of nearest sanitary sewer manhole.
 - Tree Survey showing disposition and protection.
 - Final Drainage Plan stamped by a Texas Licensed Irrigator, Landscape Architect or Civil Engineer.
 - Elevations
 - Floor Plan
 - Frame and Foundation Plan sealed by a Texas Registered Structural Engineer
 - Electrical Plans with load calculations and sizing OR sealed by a Texas Registered Electrical Engineer. Also see the Center Point Energy requirements page.
 - Plumbing Plans

Additional permits may be required for Mechanical, Electrical, or Plumbing.



Required for Approval



Building Permit Application

Date: _____

Type of Permit Requested: Accessory Structure Description: _____

Job Address: _____

Contractor: _____ Telephone: _____

Fax: _____ Mobile: _____

Type of Project: (Circle One) New Addition Alteration Replacement

Owner of Property: _____ Valuation: \$ _____

Square Feet of New Space Air Conditioned: _____ Non AC _____ New Slab: _____

Requested Water Meter Size: _____

Minimum Distance From Proposed Structure to: North Property Line _____ South Property Line _____

West Property Line _____ East Property Line _____



I hereby certify that this property has been legally platted and is recorded as Lot _____, Block _____ of _____ Addition in Vol. _____, Page _____ of the records and maps of Harris County, Texas.

(Property Owner)



I hereby acknowledge that I have been informed that a Fire Sprinkler System is required in all new construction and in additions or remodeling projects that exceed 50% of the replacement value of the existing structure as required in N.F.P.A. 13, 13D. Fire system plans must be submitted to the Village Fire Department (901 Corbindale, Houston, Texas 77024 713-468-7941) for approval prior to construction.

(Contractor/ Agent)

For City Use Only			
Fees:	Water Tap	\$ _____	Permit No. _____
	Sewer Connection Charge	\$ _____	Fire System Approval Date _____
	Water Deposit	\$ _____	Permit Number _____
	Connection Total	\$ _____	Permit Fee \$ _____



LOT COVERAGE CALCULATIONS

JOB ADDRESS: _____

LOT AREA _____ SQ. FT.

BUILDING AREA _____ SQ. FT.

OTHER AREAS _____ SQ. FT.

TOTAL PERCENTAGE OF LOT COVERAGE _____%

Building area is the square footage of the lot covered by buildings only.

Other areas include decks, patios, courts, walkways, drives or any other surface that would render the underlying ground impermeable.

The water surface of a pool shall **NOT** be considered as part of the lot coverage.

I certify that the above information is true and correct.

Contractor's Signature

Date

Ordinance No. 03-289, adopted by the City Council of the City of Bunker Hill Village, on August 19, 2003, stipulates the following:

Building area. The building area shall not exceed forty-five percent (**45%**) of the area of the lot in both District A and District B. For the purposes hereof, building area shall include portions of a lot which are covered with buildings or structures which render the underlying ground impermeable, including, but not limited to, building foundations, driveways, sidewalks, walkways, sundecks, patios, or tennis courts, and other impervious surfaces.”



Affidavit of Notification to Property Owners within Subdivisions having Recorded Restrictions

Permit Applicant: _____

Address: _____

Lot: _____ Block _____ Subdivision: _____

Proposed Work: _____

This affidavit is required for all new construction and room additions in which the foot print of the building is changed. The following language is from the City of Bunker Hill Village Ordinance No. 06-348.

(b)Affidavit Required. No building permit shall be issued for the construction of a new building, or for any addition to an existing building that would extend such building beyond the footprint of the building prior to the proposed addition, on a Lot subject to a Recorded Restriction, unless the permit applicant has submitted an affidavit certifying that notice of the permit application has been delivered to the owner, as shown on the current tax roll, of each Lot within the subdivision that is subject to the Recorded Restriction. Provided however, if the instrument(s) establishing the Recorded Restriction provides for creation of a committee or association with authority to enforce the Recorded Restriction, and there is a committee or association duly organized and operational in accordance with such instrument, certification that notice has been served on an authorized agent or officer of the committee or association may be given in lieu of notice to all individual property owners within the subdivision other than owners of property adjacent to the Lot subject to the permit.. If the permit application is for construction on a Lot that is not subject to a Recorded Restriction, the applicant shall certify such fact by affidavit. The City Administrator is authorized to promulgate affidavit forms for use in the implementation of this Section.

(c)Form of Notice; Method of Delivery. Any notice required in paragraph (b) above shall include a general description of the proposed construction, the name of the subdivision, and the Lot and block number and street address of the Lot subject to the permit. Such notice, as outlined below, shall be delivered by depositing the same, properly addressed and postage prepaid, in the United States mail, registered or certified, return receipt requested.

(d)Waiting Period; Stop Work Orders. The building official shall not issue a building permit for construction on a Lot subject to a Recorded Restriction until the expiration of five (5) business days following the receipt of an executed affidavit that fully complies with paragraph (b) above.

I, (Permit Applicant) _____ certify that I have complied with the City of Bunker Hill Village requirements as outlined above and understand that a building permit will not be issued until after five (5) business days from the date of submission of this affidavit.

Signature Date

Notary Date



Date

Builder
Mailing Address
City, State Zip

Sample

RE: Proposed New Construction
New Construction Address

Dear Resident:

We are planning to construct a new home at the above mentioned address. The City of Bunker Hill Village requires that we notify all property owners within the same subdivision of our planned construction. The purpose of this notification is to give you an opportunity to review our plans and determine if the proposed construction violates any deed or covenant restrictions. The City of Bunker Hill Village will delay issuing a building permit for 5 business days after the confirmation of this letter preparation to allow valid conflicts to be identified. Please contact us at (____)____-____ if you desire to view the plans.

Sincerely,



TREE REMOVAL PERMIT APPLICATION CONSTRUCTION RELATED

Address: _____

Owner of Subject Site: _____ Phone Number: _____

Contractor: _____ Phone Number: _____

A tree is defined as a long-lived, branching, woody plant, usually with one (1) main stem or trunk, and having a diameter of at least five (5) inches measured 4.5' above the surrounding ground. Plants which do not meet this definition are not required to be reported.

- A. _____ Total number of existing trees on the lot prior to any construction.
- B. _____ Total number of trees to be removed.*
- C. _____ Number of trees to be left on the lot after tree removal (A-B)
- D. _____ Area of the lot in square feet
- E. _____ Required minimum number of trees for this lot. (1 Tree per 1,000 square feet of lot rounded up)
- F. _____ Number of required replacement trees (Required replacement trees will be inspected at the time of the building final. Minimum diameter of replacement trees is 3". See ordinance for approved replacement trees and required placement. www.bunkerhill.net)
- G. _____ Number of trees to be removed with a diameter of 20" or greater.

*If trees are to be removed, a survey for the property with each tree properly located and labeled must be attached to this application. In addition to identifying each tree as to general kind and trunk diameter, the following legend must be used to label each tree:

- Trees to remain
- Tree to be Removed
- Proposed Replacement Tree

Example: 14" Oak

Comments:

Signature of Owner

Date:

Approval by Building Official

Date:



Required for Approval



Contractor Registration

Company Name: _____

Contact Person: _____

Mailing Address: _____

City _____ State: _____ Zip: _____

Office Telephone: _____ Fax: _____

Email: _____

Field Contact Person: _____ Telephone: _____

Texas License Type: _____ Expiration Date: _____

Name on License: _____

License Number: _____

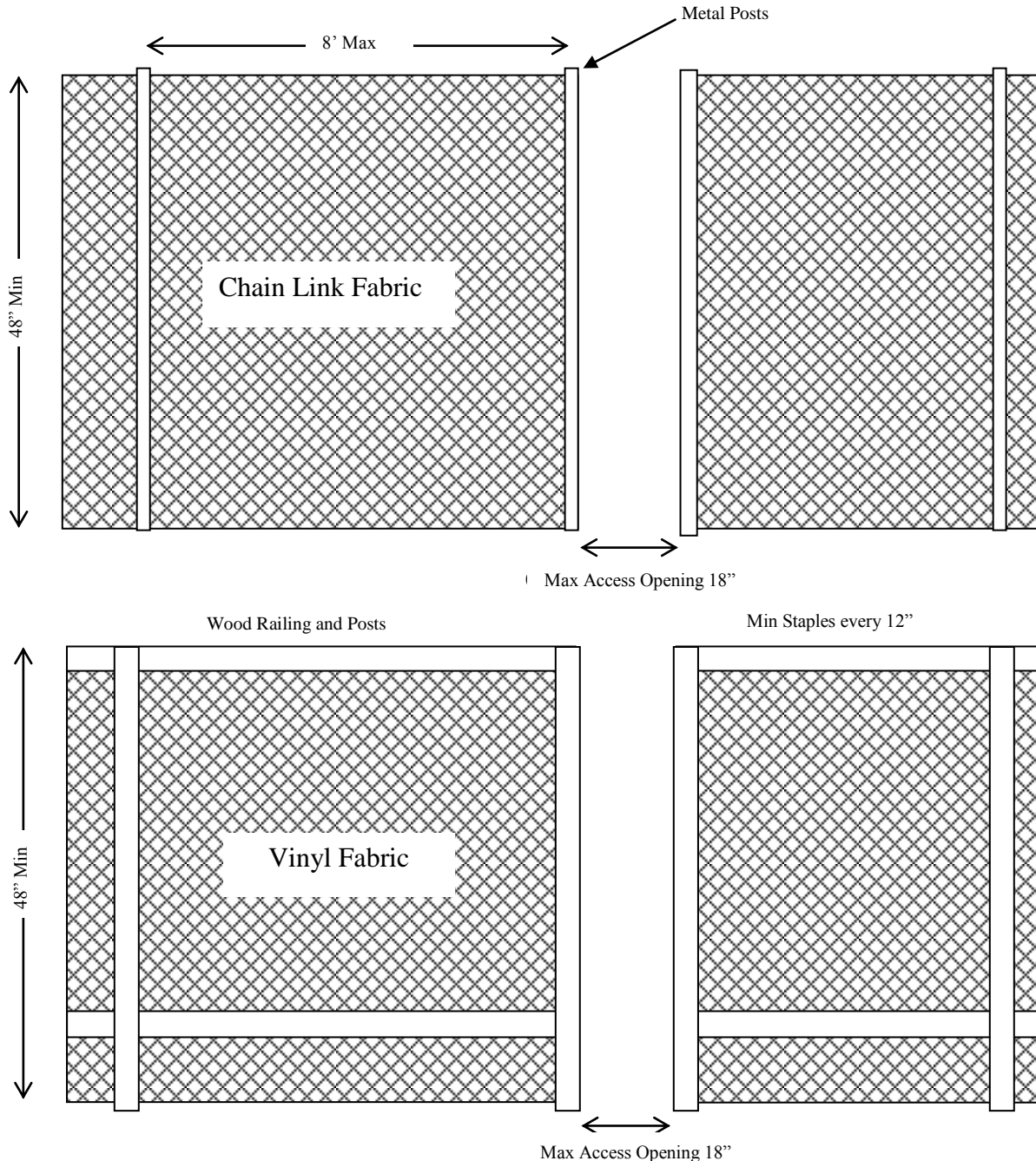
Insurance Underwriter: _____ Expiration Date: _____

Please request your insurance carrier to fax the required insurance certificate to (713) 827-8752. The City of Bunker Hill must be the certificate holder shown on the certificate. A copy of your applicable state license is also required. A permit will not be issued until this information is on file.



Types of Allowable Tree Protection Fencing

Tree protection shall consist of fencing, at least forty-eight (48) inches in height, which shall be placed at the drip line of the canopy of each tree to be preserved. Fencing shall be of either metal hurricane variety with steel posts no greater than eight (8) feet apart, or a wooden rail fence with vinyl construction fencing attached, with staples every twelve (12) inches. An opening shall be left in each fence enclosure of not more than eighteen (18) inches to allow access for maintenance of grass and vegetation. No such tree protection area shall be used to store materials or equipment.





ALLOWED REPLACEMENT TREES

If replacement trees are required as a provision of your building permit, new trees must be selected from the list below. Trees must be at least 3” in diameter 4.5’ from the ground.

Pecan	Drummond Red Maple	River Birch
Black Walnut	Winged Elm	Fringe Tree
Cedar Elm	Nuttall Oak	Chinese Elm
American Elm	Sweetgum	Southern Magnolia
Chinese Pistasche	Tulip Tree	Eastern Red Cedar
Green Ash	Yellow Poplar	Bald Cypress
Overcup Oak	Live Oak	Loblolly Pine
Shumard Oak	Bur Oak	Post Oak
White Oak	Swamp Chestnut Oak	Sycamore



General Contractor Responsibilities

The general contractor **SHALL PROVIDE A SINGLE PROTECTED AREA FOR ALL PERMITS AND INSPECTION RECORDS** issued for that site.

SANITARY WASTE: All sanitary waste shall be collected in an enclosed portable waste collection unit (portable toilets) approved by the City of Bunker Hill Village. All portable toilets shall be screened from view from any adjacent private property or any public or private roadway with privacy fencing or other decorative screening materials, of a height of not less than the height of the portable toilet. Each portable toilet shall be served at least one (1) time per week.

All trees to be left on the site **MUST HAVE TREE PROTECTION IN PLACE BEFORE ANY CONSTRUCTION INCLUDING DEMOLITION TAKES PLACE.**

ALL STREETS AND PUBLIC DRAINAGE AREAS MUST BE PROTECTED FROM SITE RUNOFF WITH A SILT FENCE. Any tracking of mud or debris **MUST BE CLEANED DAILY.**

ON-SITE PARKING FOR WORKERS: All vehicles belonging to construction workers shall be parked on the job site unless special approval by the building official is received. The builder shall provide an all-weather temporary drive to minimize tracking dirt, mud, etc., onto the adjacent street or streets.

HOURS OF WORK NOTICES MUST BE POSTED. The City of Bunker Hill will provide these notices in English and Spanish. The general contractor is to place them in a protective sleeve or have them laminated and post both at the site.

ALL TRASH, DEBRIS, AND LITTER MUST BE PICKED UP DAILY.

Violation of any of the above **CAN RESULT IN STOP WORK ORDERS OR A FINE OF \$2,000 OR BOTH.**

A “Site Inspection” is required prior to any construction activities to confirm that all of the above are in place. No construction inspections will be scheduled until an approved site inspection have been performed. Items to be inspected as part of a site inspection:

- Permit posting station in place with permits on site
- Tree protection as required
- Storm water protection in place (silt fencing)
- Designated construction parking location
- Work hours posted
- Fencing around sanitary facilities
- Dumpster in place



WORKING HOURS

**MONDAY – FRIDAY
7:00 A.M. TO 6:00 P.M.**

**SATURDAY
8:00 A.M. TO 5:00 P.M.**

**SUNDAY
HOLIDAY (NO WORK ALLOWED)**



LAS HORAS DE TRABAJO

LUNES – VIERNES

7:00 A.M. HASTA LAS 6:00 P.M.

SABADO

8:00 A.M. HASTA LAS 5:00 P.M.

DOMINGO

**DIA DE DESCANSO (NO SE PERMITE
TRABAJAR)**



Required Accessory Structure Inspections

Fax Inspection Requests 1 day in advance to the City of Bunker Hill using the form provided in this package. All inspections must be performed by City of Bunker Hill inspectors. Third party inspections do not take the place of city inspections.

Building

- Site – Must be performed prior to any construction. See inspection page for details.
- Pier – Inspection of drilling and steel prior to pouring.
- Form Survey – hard copy delivered to the city for review prior to foundation inspection. Please include the actual elevations on the slab certification.
- Foundation – all plumbing should be approved at this point.
- Wind Bracing – prior to any exterior trim , soffit or infiltration covering installation.
- Frame Cover – all other trades should be approved for cover at this point.
- Brick Ties/ Stucco wire and lathe.
- Final – all other permits must be complete.

Additional inspections may be required and will be detailed on your permit. This list does not include inspections required for Mechanical, Electrical, Plumbing or Flatwork permits.



INSPECTION REQUEST FORM

FAX 713-827-8752

CONTRACTOR: _____

JOB SITE ADDRESS _____ CONTRACTOR FAX: _____

CONTACT PERSON: _____ PHONE NUMBER: _____

PERMIT# _____ DATE FOR INSPECTION: _____ Time Desired: _____

Please fax this form by 4:00 pm to insure next day inspections.

Building

- _____ Site
- _____ Pier
- _____ Foundation*
- _____ Wind Bracing
- _____ Brick Tie
- _____ Frame Cover
- _____ Polly Seal
- _____ Insulation
- _____ Wall Board
- _____ Final

*Form Survey must be presented and approved before a Foundation Inspection will be scheduled.

- _____ Pressurization
- _____ Shower Pan
- _____ Water Lines/Water Heaters
- _____ Gas Turn On
- _____ Area Drains
- _____ Final

Mechanical

- _____ Cover
- _____ Register/Box Seal
- _____ Change Out
- _____ Final

Driveway/Sidewalk

- _____ Approach
- _____ Pre-Pour
- _____ Culvert
- _____ Final

Fence

- _____ Final

Electrical (Electrician must be present @ inspection)

- _____ Cover
- _____ Temporary Pole Set
- _____ TCI
- _____ Underground
- _____ Swimming Pool
- _____ Final

Pool

- _____ Stake Out
- _____ Steel
- _____ Decking
- _____ Final

Plumbing

- _____ Sewer Disconnect
- _____ Underground
- _____ Cover

Irrigation

- _____ Final

Demolition

- _____ Pre-Demo

Roof _____ Final

Comments: _____

Site Inspection is to confirm the presence of 1) On Site Parking 2) Dumpster 3) Screened Sanitary Facilities 4) Filter Fabric and Runoff Protection 5) Temporary Drainage 6) Tree Protection 7) Permit Posting Station 8) Address Clearly visible from the street.